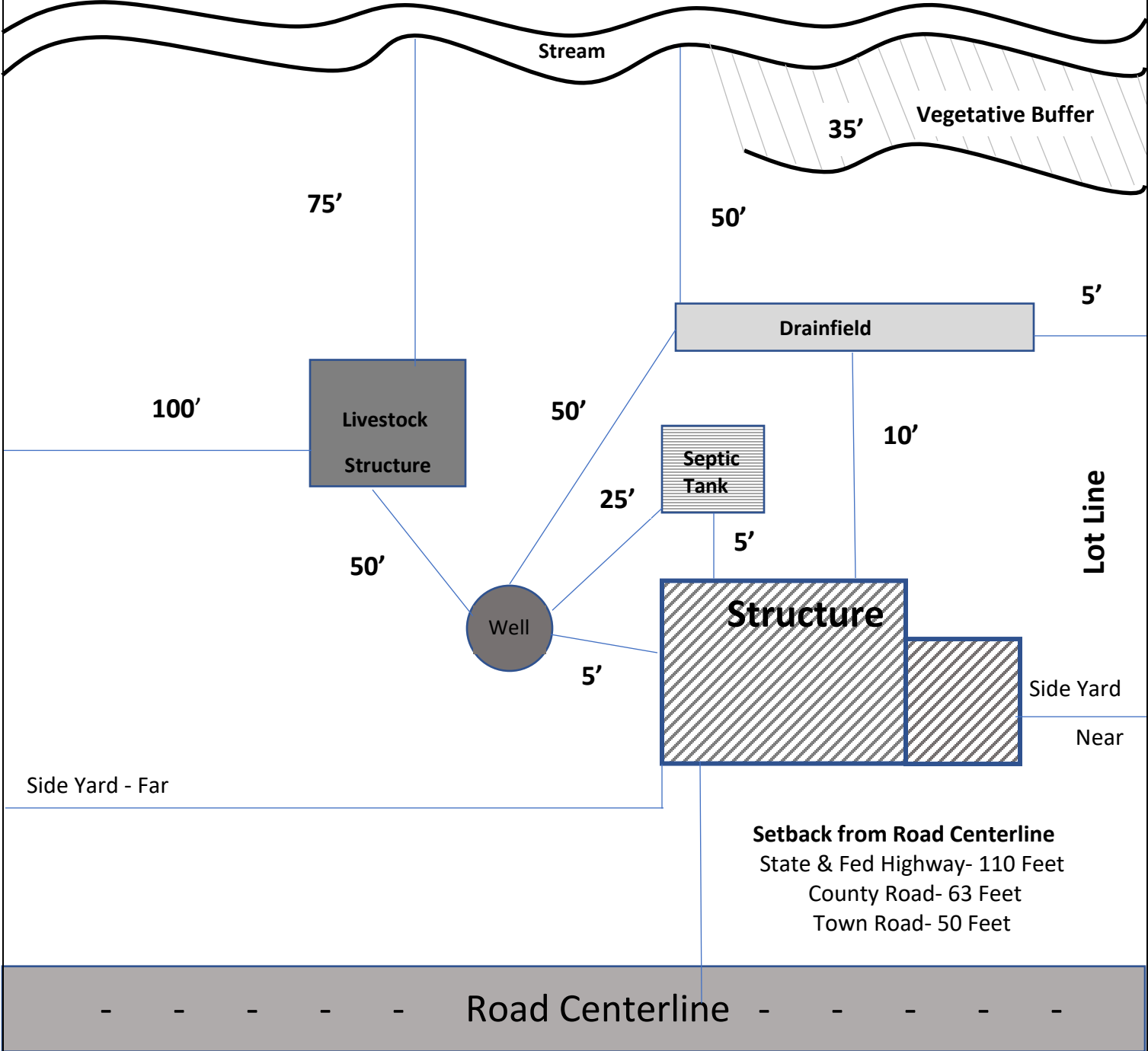


Buffalo County Setback Requirements



See table on back for side and rear yard setbacks, lot size, and width requirements.

Distances shown are **minimums** and may not depict all situations. This drawing is a summary of common zoning setbacks and shall not be constructed as a complete list of setbacks. **(Contact the Zoning Department prior to beginning any construction or earthmoving, for complete permit and setback information).**

ZONING DISTRICT REQUIREMENTS

1. Zoning District Requirements Table.

Zoning Districts	Min. Lot Area (acres)	Min. Lot Width-Road Frontage	Maximum Dwelling Unit Density per 40 acres	Side Yard Setback, Minimum	Rear Yard Setback, Minimum
Agriculture/Natural Resource – 40 (ANR-40)	2	100 Feet	1 per 40 Acres	20 Feet	40 Feet
Agriculture/Natural Resource – 20 (ANR-20)	2	100 Feet	2 per 40 Acres	20 Feet	40 Feet
Agriculture/Natural Resource – 10 (ANR-10)	2	100 Feet	4 per 40 Acres	20 Feet	40 Feet
Agriculture/Natural Resource – 5 (ANR-5)	2	75 Feet	8 per 40 Acres	10 Feet	20 Feet
Agriculture/Natural Resource Transition – 5 (ANRT-5)	2	75 Feet	8 per 40 Acres	10 Feet	20 Feet
Residential (R)	1 acre, .25 acres if served by public sewer	75 Feet 50 Feet-Sewered	NA	10 Feet	10 Feet
Commercial (C)	1 acre, .25 acres if served by public sewer	75 Feet 50 Feet-Sewered	NA	10 Feet 20 Feet from Residential lot	10 Feet 40 Feet from Residential lot
Industrial (I)	1 acre, .25 acres if served by public sewer	100 Feet	NA	20 Feet 40 Feet from Residential lot	20 Feet 40 Feet from Residential lot
Conservation (CONS)	1	100 Feet	NA	10 Feet	10 Feet