



Buffalo County Zoning Department

407 S. Second Street ■ PO Box 492 ■ Alma, WI 54610 (608) 685-6218 Fax:
(608) 685-6213 www.co.buffalo.wi.us

Non-Plumbing Sanitary Permit Application

Pursuant to WI Admin Code SPS 382, 383, 391 and Buffalo County Sanitary Ordinance

| | |
|----------------------|----------|
| Property Owner Name: | Phone #: |
| Mailing Address: | |
| Email Address: | |

| | |
|------------------|----------|
| Agent Name: | Phone #: |
| Mailing Address: | |
| Email Address: | |

| | |
|-------------------------|---|
| SITE INFORMATION | Parcel Number: _____ - _____ - _____ |
|-------------------------|---|

Site Address: _____

Property Description: _____ ¼ _____ ¼ Sec. _____, T _____ N, R _____ W, Town/City/Village _____

Parcel Size in Acres: _____ Square Feet: _____

Legal Description: _____

TYPE OF NON-PLUMBING SANITARY SYSTEM BEING APPLIED FOR: (Indicate one system below)

- PRIVY (check one of the two options below)**
- Earthen Pit** (Requires Soil Evaluation Report completed by a Wisconsin Certified Soil Tester)
 - Sealed Vault** (200 gallon minimum capacity vault)

Manufacturer: _____

Type of Construction: Prefab Concrete Steel Fiberglass Plastic

COMPOSTING TOILET

The materials, design, construction and performance of a composting toilet shall conform to NSF Standard 41. The disposal of any compost shall be in accordance with EPA part 503. The disposal of any liquid shall be either to a public sanitary sewer system or a POWTS conforming to SPS 383.

Manufacturer: _____ Model: _____

INCINERATING TOILET

The design, construction, materials, installation, and performance of gas-fired or electric-fired incinerating toilets shall conform to either ANSI Z21.61 or NSF Standard 41. The disposal of any end product shall be in accordance with 40 CFR Part 503, Standards for the use or disposal of sewage sludge. The disposal of any liquid from an incinerating toilet shall be either to a public sanitary sewer system or POWTS conforming to SPS 383.

Manufacturer: _____ Model: _____

PORTABLE RESTROOM

A copy of the contract/rental agreement must be submitted to the Zoning Department within 3 months of sanitary permit issuance.

A final inspection is required after all non-plumbing units have been built/installed – please call the Zoning Department at 608-685-6265 to schedule a final inspection

SITE PLAN

A detailed site plan must be submitted with your application or the application will be deemed incomplete and returned. The site plan may be drawn below or on a separate piece of paper or survey map. The location of the following features must be included on the site plan:

- Configuration of Parcel with all Dimensions
- North Arrow
- Roads Including Driveways
- All Existing Structures
- Proposed New Structure(s) or Addition(s)
- Easements
- Distances from Property Lines and Road Centerline
- Any existing Septic Tanks/Drainfields
- Well Location
- Water Features and Potential Wetlands
- Location of Non-Plumbing System

APPLICANT SIGNATURE

I certify by my signature that all information presented herein is true to the best of my knowledge. I understand that I am subject to all applicable codes, statutes and ordinances of Buffalo County and the State of Wisconsin. Providing incorrect information may cause a delay in permit processing or denial. I give permission for the staff of the Buffalo County Zoning Department to enter upon my property for the purpose of verifying that the standards and requirements of the Zoning Ordinance are met.

Signature: _____

Date: _____

Fee: \$125 – All non-plumbing systems

Make checks payable to: **Buffalo County Treasurer** Return Completed application to: **Buffalo County Zoning Department, P.O. Box 492, Alma, WI 54610**

Non - Plumbing Sanitary System Information

Privies

- Prior to the issuance of a Buffalo County Sanitary Permit for a vault privy, the owner of the system shall contract with a person who is licensed under NR 113 Wisconsin Administrative Code to have the contents of the system pumped when needed.
- A sealed vault privy must utilize a watertight container that has a minimum of 200 gallon capacity to collect and hold human waste. Sealed vault privies must be pumped out by a licensed septic hauler whenever the tank reaches its capacity.
- The vaults may be made of plastic, concrete, steel or fiberglass.
- Earthen pit privies require a soil evaluation report be completed by a licensed soil tester to determine if the soils are adequate to treat the waste. There shall be 3 feet of suitable soils below the bottom of the earthen pit. If the report determines that the soils are not adequate due to high ground water, bedrock or slowly permeable soils a sealed vault privy will be required.
- Either type of privy is required to be vented. The vent shall be 3 inches in diameter and terminate at least 8 inches above the roof of the privy and covered with an effective ventilating hood.
- All windows, ventilators, and other openings shall be screened to prevent insects from entering the storage chamber.

Composting Toilets

- Composting toilets must conform to NSF Standard 41 and be listed with one of the following testing agencies; American Gas Association, Canadian Standards Association, NSF International, Underwriter's Laboratories or Warnock Hersey.
- The components for the storage or treatment of waste shall be continuously vented. Ventilation ducts or vents shall conform to SPS 382.31 (16).
- The disposal of any liquid from a composting toilet system shall be either to a public sanitary sewer system or a POWTS conforming to SPS 383. The disposal of the compost shall be in accordance with EPA part 503.

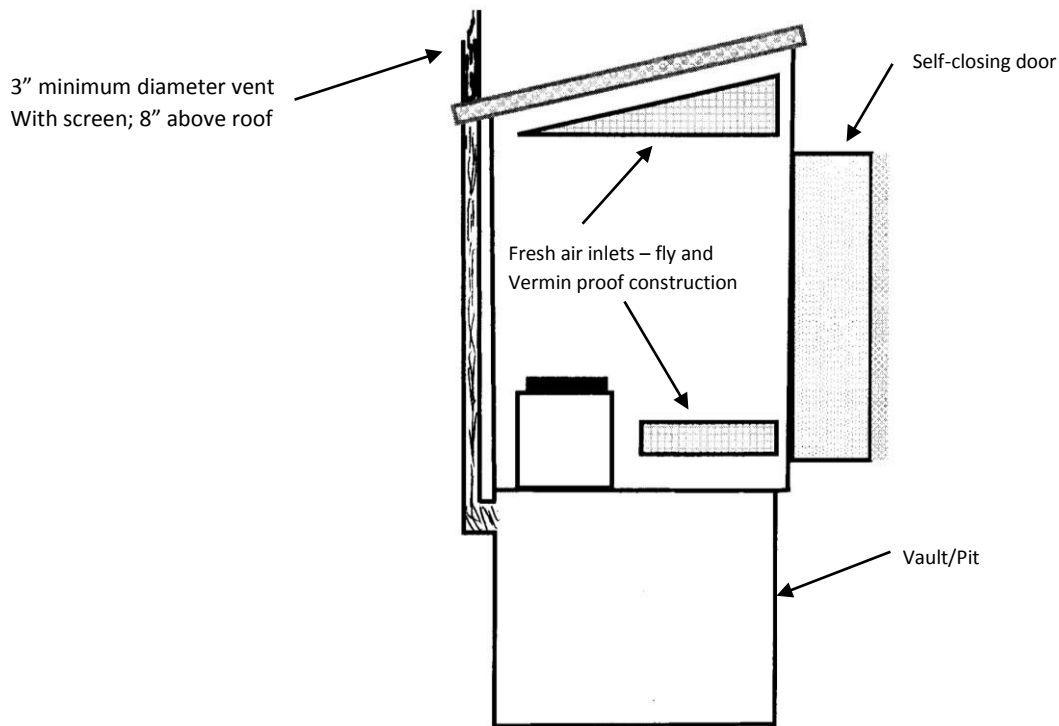
Incinerating Toilets

- Incinerating toilets must conform to NSF Standard 41, ANSI Z21.61 and be listed with one of the following testing agencies; American Gas Association, Canadian Standards Association, NSF International, Underwriter's Laboratories or Warnock Hersey.
- The disposal of any liquid from a composting toilet system shall be either to a public sanitary sewer system or a POWTS conforming to SPS 383. The disposal of the end product shall be of in accordance with 40 CFR part 503, standards for the use or disposal of sewage sludge.

Privy Setbacks and Design

Privies are considered to be structures and therefore must meet all applicable setback requirements.

| From | To Earthen Pit Privy | To Sealed Vault Privy |
|--------------------------|----------------------|-----------------------|
| Building (any structure) | 10 Feet | 5 Feet |
| Property Line | 10 Feet | 10 Feet |
| Well | 50 Feet | 25 Feet |
| Ordinary High Water Mark | 75 Feet | 75 Feet |



A final inspection is required after all non-plumbing units have been built/installed – please call the Zoning Department at 608-685-6265 to schedule a final inspection

Buffalo County Non-Plumbing Sanitary Service Contract

This contract is made between the

| | | |
|-------------------------|-------------------------------------|--|
| Contract Date / / | | |
| Sanitation System Owner | Service Pump License # _____ | |

We acknowledge the installation of a non-plumbing sanitation system on the property described as:

_____ ¼ , _____ ¼ , Section _____, Township _____ N, Range _____ W

Address at the site: _____ Parcel # _____

Conditions:

The owner agrees to file this contract with the Buffalo County Zoning Department.

- 1) The owner agrees to have the non-plumbing sanitation system serviced according to the Buffalo County Sanitary Ordinance, Article XIII, Section 131.6 (3) by a person who is licensed under NR 113 Wisconsin Administrative Code and guarantees to permit the pumper to have access to enter the property for the purpose of servicing the sanitation system in question. The owner agrees to maintain the access road or drive so that the pumper can service the sanitation system with the pumping equipment. The owner further agrees to pay the pumper for all charges incurred in servicing the sanitation system as mutually agreed upon by the owner and pumper.
- 2) The pumper agrees to submit to the Buffalo County Land Resources Department a report for the sanitation system (if pumped during the year) on an annual basis. The pumper further agrees to include the following in the annual report:
 - a. The name and address of the person responsible for servicing the system.
 - b. The name of the owner of the system.
 - c. The location of the property on which the system was installed.
 - d. The Buffalo County Sanitary Permit number.
 - e. The date(s) the sanitation system was serviced.
 - f. The volumes in gallons of the contents pumped from the sanitation system for each servicing.
 - g. The disposal sites to which the contents from the sanitation system were delivered.
- 3) This agreement will remain in effect until the owner or pumper terminates this contract. In the event of a change in this contract, the owner agrees to file a copy of any changes to this service contract or a copy of a new service contract with the local governmental unit and the county named above within ten (10) business days from the date of change to this service contract.

| | |
|--------------------|-----------------|
| Owner's Signature | Mailing Address |
| Pumper's Signature | Mailing Address |

Subscribed and sworn to me on this date:

Today's Date

Notary Public Signature

Commission Expiration

This page is intended to be blank

ZONING DEPARTMENT USE ONLY

Date Application Accepted: _____ Permit Issue #: _____
Accepted By: _____ Receipt #: _____

Total Fee: _____
Check # : _____ or Cash

Zoning District: _____

Site and Soil Evaluation Report on File: yes no N/A

Servicing Contract Received: yes no N/A

Shoreland/Wetland District: yes no N/A

Maximum Depth Allowed for Pit Privy: _____ feet or _____ inches

Floodplain Status: _____

Approved by: _____ Date Approved: _____

| <u>Inspection Date</u> | <u>Inspector</u> | <u>Comments</u> |
|------------------------|------------------|-----------------|
| • _____ | _____ | _____ |
| _____ | _____ | _____ |
| • _____ | _____ | _____ |
| _____ | _____ | _____ |

Permit Application Denied for the following reasons:

Signature: _____ Date: _____